

**BEFORE THE BOARD OF COUNTY COMMISSIONERS
FOR MULTNOMAH COUNTY, OREGON**

RESOLUTION NO. 2012-137

Approving the Purchase of a Temporary Construction Easement for the NE Halsey Street Project from Melvin L. Eblen, Jr. and Marcia L. Eblen.

The Multnomah County Board of Commissioners Finds:

- a. Multnomah County has reached a proposed settlement with Melvin L. Eblen, Jr. and Marcia L. Eblen, the owners of certain real property interests determined to be necessary for the purpose of constructing, maintaining, repairing, replacing and reconstructing slopes, sidewalks, driveways, and road facilities on a portion of NE Halsey Street in the Cities of Wood Village and Troutdale (the "Project") as authorized by Resolution No. 2012-085.
- b. The real property proposed to be acquired for the price of \$2,500.00 is more particularly described in the Temporary Construction Easement, a copy of which is attached as Exhibit 1 (the "Property").
- c. The Property is necessary for the Project, and it is in the best interest of the public and Multnomah County to approve the purchase of the Property.

The Multnomah County Board of Commissioners Resolves:

1. The Board approves the purchase of the Property, and the County Chair is authorized and directed to execute any documents required for completion of the purchase.
2. The County Engineer is authorized and directed to execute the acceptance statement on the original Temporary Construction Easement for the Property in conformance with the attached Exhibit 1.

ADOPTED this 6th day of September, 2012.



BOARD OF COUNTY COMMISSIONERS
FOR MULTNOMAH COUNTY, OREGON

Jeff Cogen, Chair

REVIEWED:
JENNY M. MORF, COUNTY ATTORNEY
FOR MULTNOMAH COUNTY, OREGON

By

Matthew O. Ryan, Assistant County Attorney

SUBMITTED BY: M. Cecilia Collier, Director, Department of Community Services.

Grantor:
Melvin L. Eblen, Jr.
Marcia L. Eblen
24205 NE Halsey Street
Wood Village, OR 97060-1029

After recording return to:
Grantee: Multnomah County; attn: Patrick Hinds
Land Use & Transportation Division, Bldg. #425


TEMPORARY EASEMENT

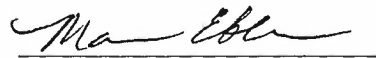
Melvin L. Eblen, Jr. and Marcia L. Eblen, as tenants by the entirety, "Grantor", grants to **MULTNOMAH COUNTY**, a Political Subdivision of the State of Oregon, "Grantee", a temporary easement as described in the attached Exhibit A. These grants are free of encumbrances except Conditions, Restrictions, Restrictive Covenants, and Easements of Record if any.

Grantors represent and warrant that they have the authority to do this easement grant. Grantors assume ownership of those certain improvements and installations as more particularly depicted in the attached Exhibit B, installed or constructed in the temporary easement area and shall be responsible for the repair and maintenance of said improvements and installations after August 31, 2013. During the easement term, Grantors shall not grant or allow any subsequent uses or activities in the temporary easement area described in Exhibit A which would interfere with the Grantee's use of said easement.

The true consideration paid for this grant stated in terms of dollars is \$ 2,500.00.

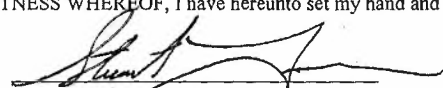
Dated this 25 day of July, 2012


Melvin L. Eblen, Jr.


Marcia L. Eblen

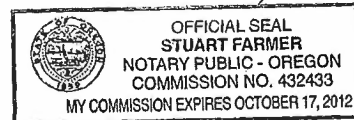
STATE OF OREGON)
) ss
County of Multnomah)

This instrument was acknowledged before me on July 25, 2012, by Melvin L. Eblen, Jr. and Marcia L. Eblen, authorized to execute the instrument. IN WITNESS WHEREOF, I have hereunto set my hand and official seal the day and year last above written.


Notary Public for Oregon
My Commission Expires: Oct 17, 2012

REVIEWED:
By Jenny M. Morf, ~~Assistant~~ County Attorney
For Multnomah County, Oregon

By: _____
Assistant County Attorney



The described property is accepted for use in conjunction with NE Halsey Street, County Road No. 1180, on behalf of the Board of County Commissioners of Multnomah County, Oregon, pursuant to Ordinance No. 619 and Executive Order No. 199.

Dated this _____ day of _____, 2012

By _____
Brian S. Vincent, P.E., County Engineer for Multnomah County, Oregon

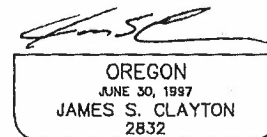
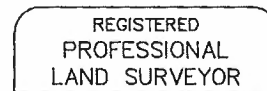
EXHIBIT "A"

A TEMPORARY EASEMENT (EXPIRING ON AUGUST 31, 2013) FOR THE PURPOSE OF ACCESSING, LAYING DOWN, INSTALLING, CONSTRUCTING, RECONSTRUCTING, OPERATING, INSPECTING, MONITORING, AND MAINTAINING A DRIVEWAY AND APPURTENANCES, THROUGH, UNDER, OVER AND ALONG THE FOLLOWING REAL PROPERTY BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A portion of that tract of land described in warranty deed to Melvin L. Eblen, Jr. and Marcia L. Eblen, husband and wife, recorded on November 19, 1979 in Book 1400, Page 732, Multnomah County Deed Records, situated in the Southwest One-quarter of Section 26, Township 1 North, Range 3 East, W.M., City of Wood Village, Multnomah County, Oregon, more particularly described as follows:

Beginning at the Southwest corner of said Eblen tract, said corner being at the intersection of the West line of said Section 26 with the Northerly right-of-way line (40.00 feet northerly of, when measured at right angles to, the centerline thereof) of NE Halsey St, County Road No. 1180; thence N00°20'50"W, along the West line of said Section 26, a distance of 29.96 feet; thence N80°56'15"E, a distance of 19.63 feet; thence S11°09'16"E, a distance of 7.13 feet; thence N78°50'44"E, a distance of 8.00 feet; thence S10°54'00"E, a distance of 7.72 feet to a point being 54.00 feet northerly of, when measured at right angles to, the centerline of said NE Halsey St.; thence N79°06'00"E, parallel with said centerline, a distance of 35.20 feet to the East line of said Eblen tract; thence S00°20'50"E, along said East line, a distance of 14.24 feet to the Northerly right-of-way line of said NE Halsey St.; thence S79°06'00"W, along said Northerly right-of-way line, a distance of 65.73 feet to the point of beginning.

Containing 1,301 square feet more or less.



RENEWAL DATE: 1/1/2014

As shown on the attached EXHIBIT MAP, herein made a part of this document. In the event of a conflict or discrepancy between the map as shown on the EXHIBIT MAP and the written legal description, the written legal description shall prevail.

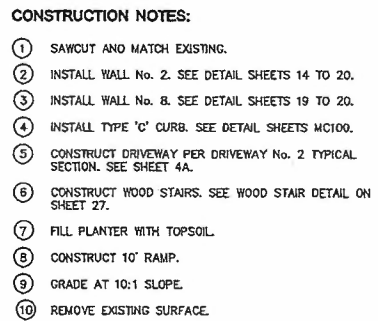
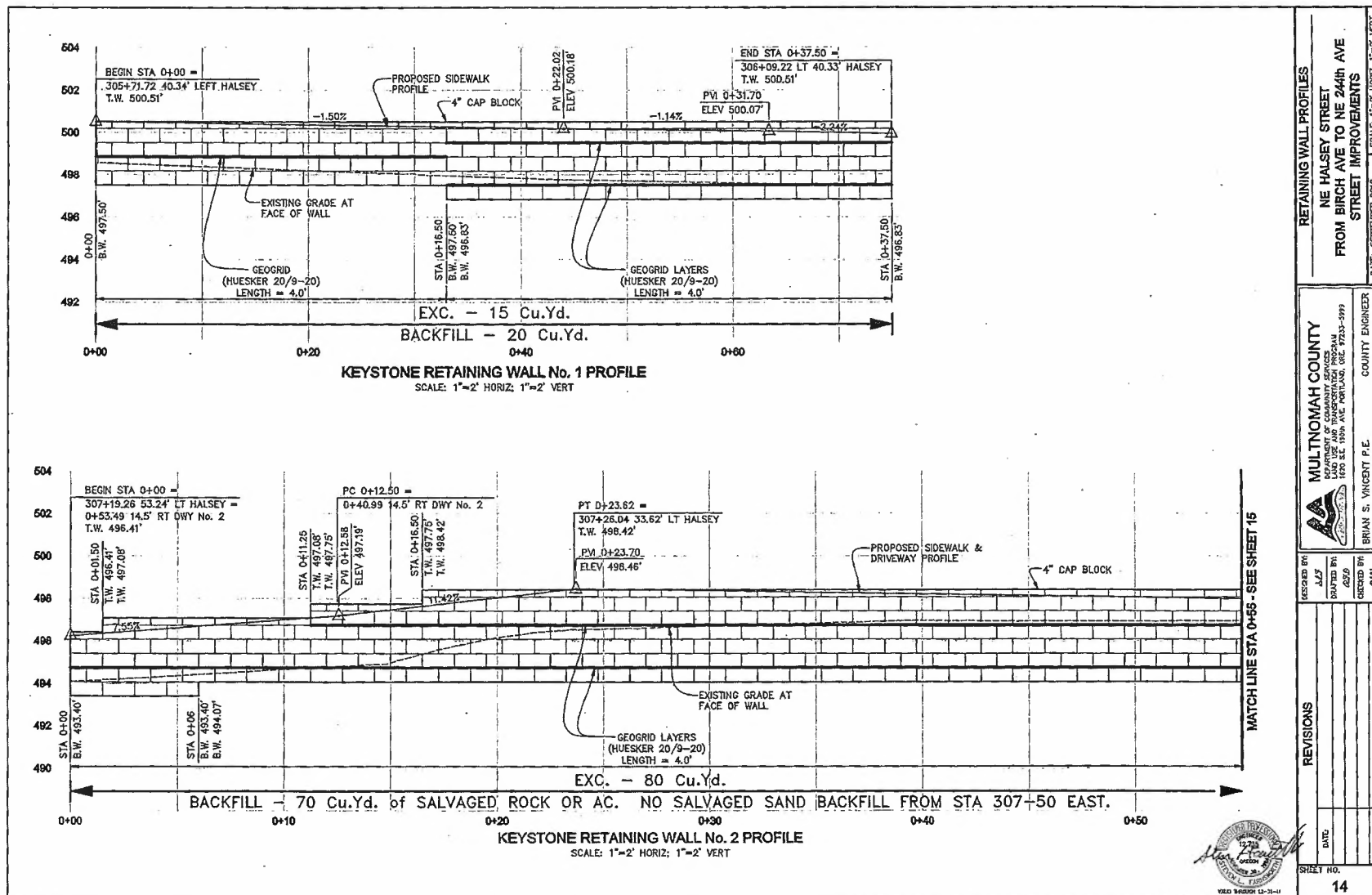
[illegible]

Exhibit B
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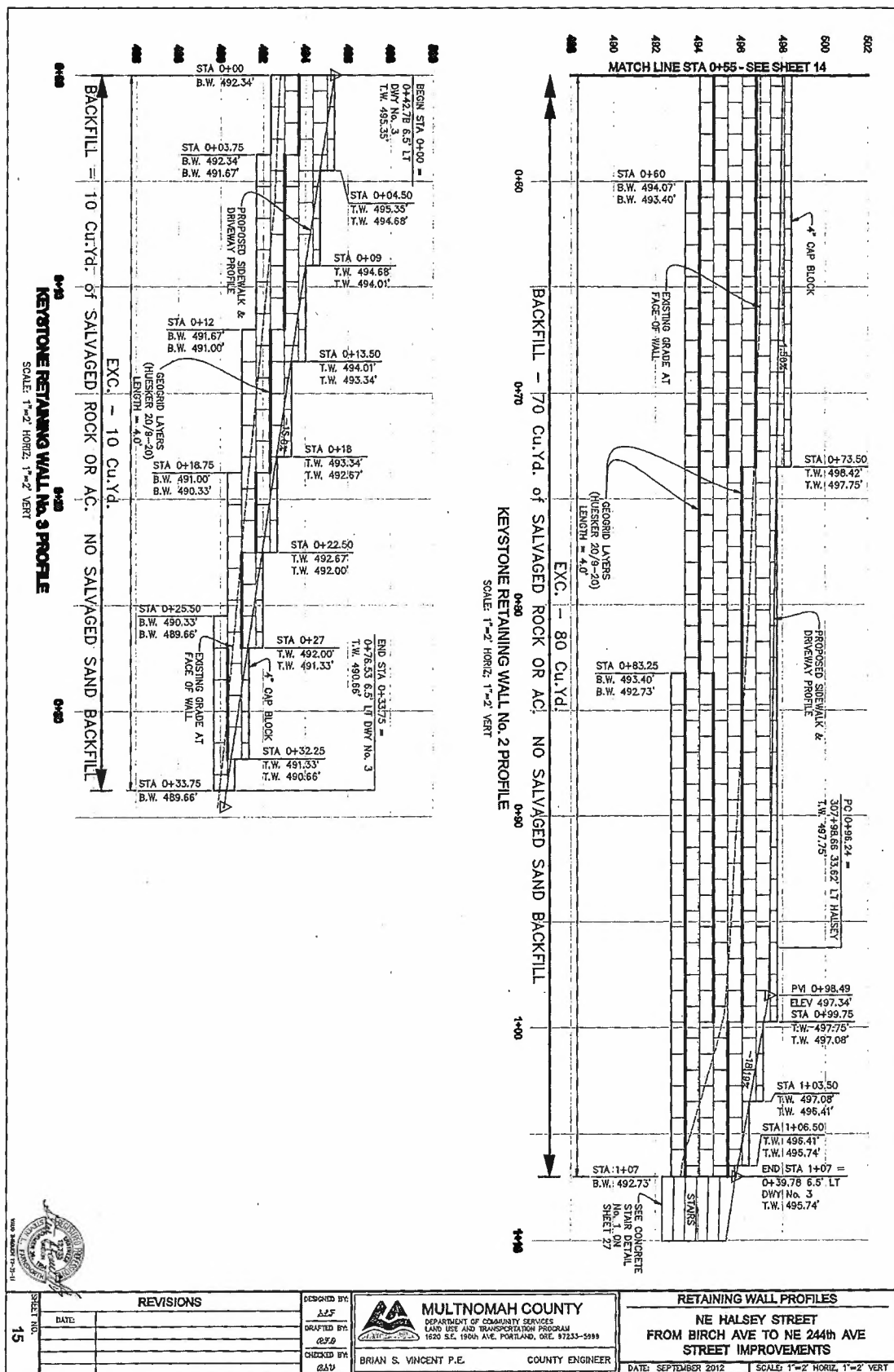


Exhibit B
09347

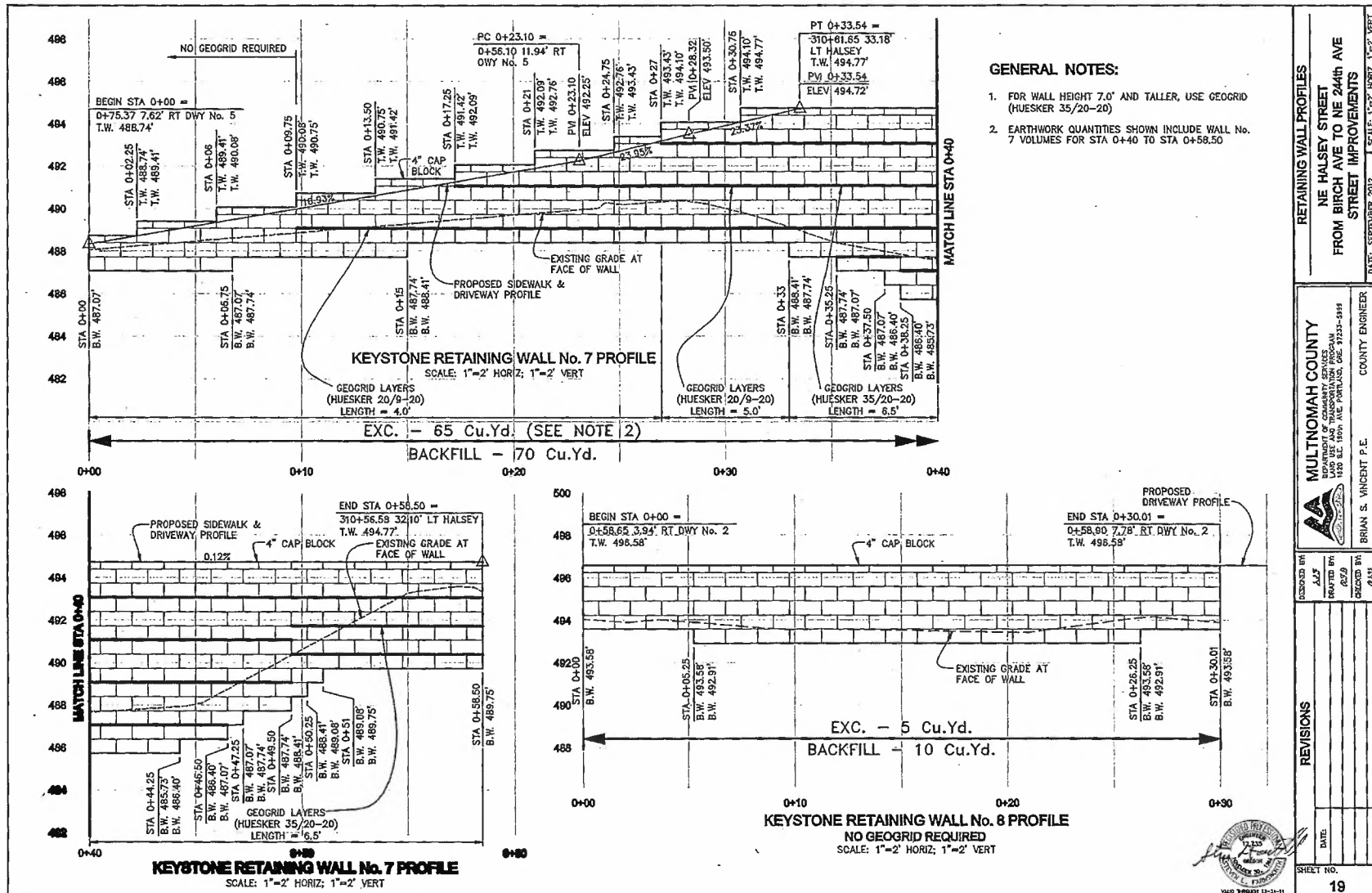
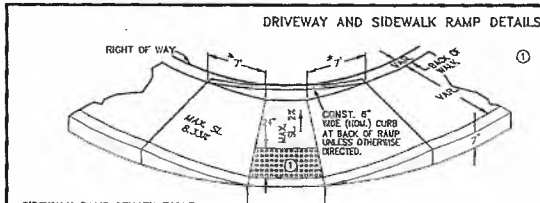
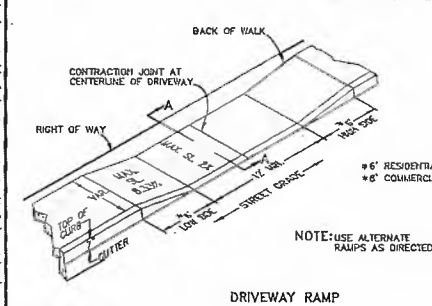
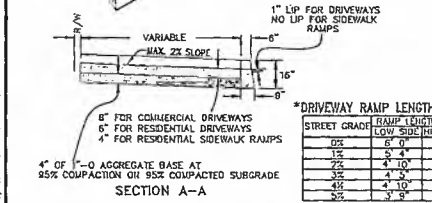
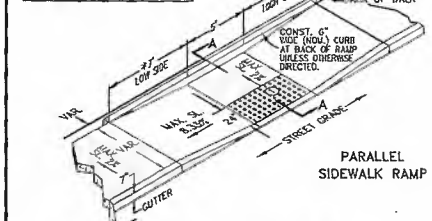


Exhibit B
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***SIDEWALK RAMP LENGTH TABLE**

STREET GRADE	RAMP LENGTH (L12)	LOW SIDE (HIGH SIDE)
0%	7' 0"	7' 0"
1%	7' 0"	7' 0"
2%	7' 0"	7' 0"
3%	7' 0"	7' 0"
4%	7' 0"	7' 0"
5%	7' 0"	7' 0"

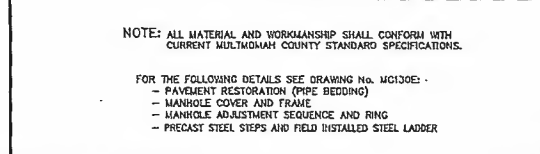
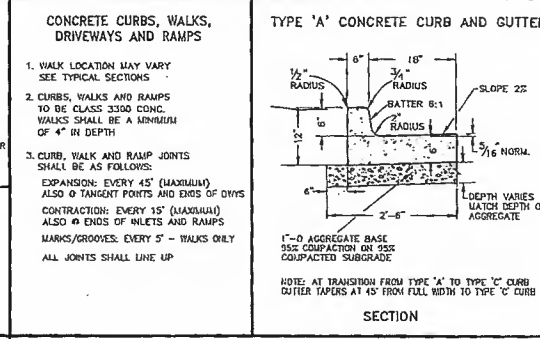
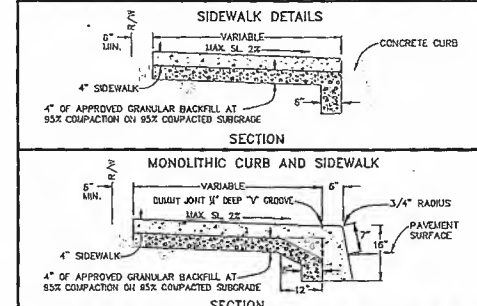
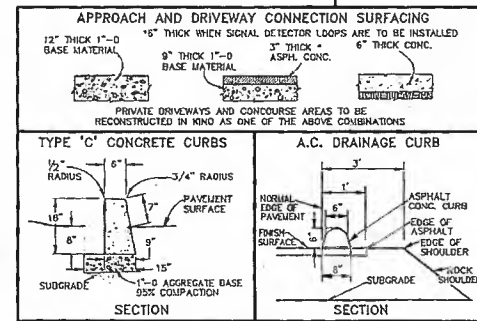
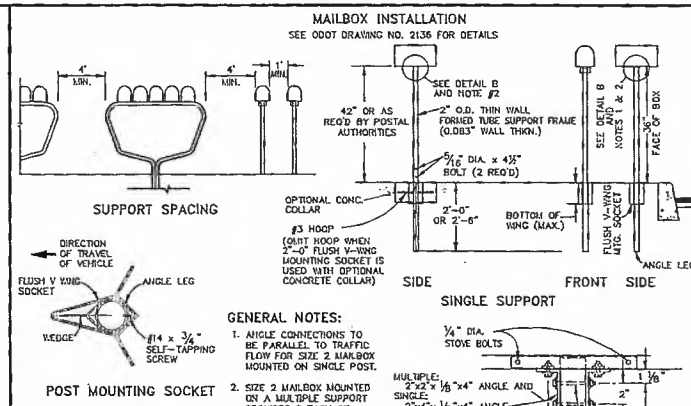


① CONSTRUCT TRUNCATED DOME DETECTABLE WARNING SURFACE WITH PARALLEL ALIGNMENT

SPACING: 0 = 2.35" MIN. TO 2.80" MAX

OPTION A: CONCRETE TILE WITH INTEGRAL DOMES MAY BE INSTALLED. (RED MASON SUPPLY CIP TACILE PANELS OR APPROVED EQUAL)

OPTION B: ON-SITE FABRICATION OF DOME SURFACE (STRONGWALL INDUSTRIES - STRONGWALL SWADA-2000 OR APPROVED EQUAL)



STANDARD

GENERAL DETAILS

MULTIMONAH COUNTY

DEPARTMENT OF COMMUNITY SERVICES

1100 SE 10TH AVE. SUITE 1000, OAK RIDGE, TN 37830-1000

BRIAN S. VINCENT P.E.

REVISIONS

DATE: MAY 20, 2002

DESCRIPTION: ADDED DETECTABLE WARNING SURFACE TO RAMPS

DATE: MAY 20, 2002

DESCRIPTION: DEPTH OF AGGREGATE UNDER TYPE 'A' CURB

DATE: SEPT 21, 2002

DESCRIPTION: REVISED OPTION 'A' DETECTABLE WARNING SURFACE

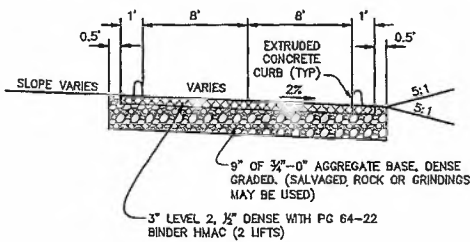
DATE: JUNE 29, 2008

DESCRIPTION: ADDED UNIFORMING DOWEL AND SIDEWALK DETAIL

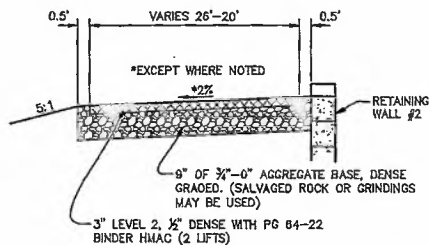
MC100

Exhibit B

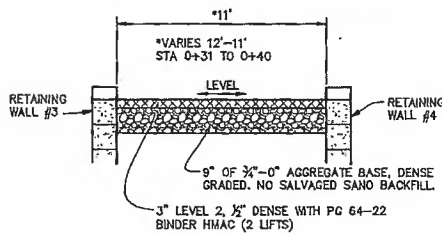
Pg. 5 of 9



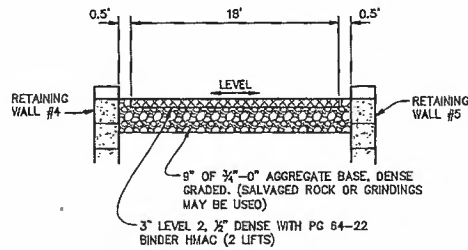
DRIVEWAY No. 1
NOT TO SCALE



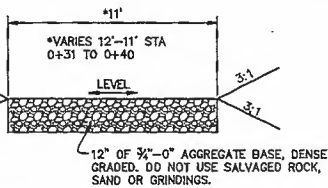
DRIVEWAY No. 2
NOT TO SCALE



DRIVEWAY No. 3
STA 0+31 TO 0+78.60
NOT TO SCALE

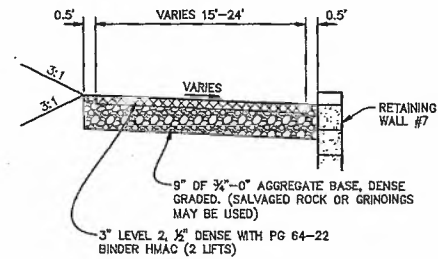


DRIVEWAY No. 4
NOT TO SCALE

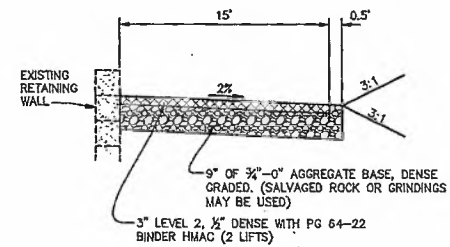


DRIVEWAY No. 3
STA 0+76.60 TO 0+95.65
NOT TO SCALE

NOTE: DO NOT USE SALVAGED ROCK OR GRINDINGS IN THIS SECTION OF DRIVEWAY



DRIVEWAY No. 5
STA 0+39+45 TO 0+75.31
NOT TO SCALE



DRIVEWAY No. 5
STA 0+75.31 TO 0+96.20
NOT TO SCALE

TYPICAL DRIVEWAY SECTIONS

NE HALSEY STREET
FROM BIRCH AVE TO NE 24th AVE
STREET IMPROVEMENTS

DATE: SEPTEMBER 2012 SCALE: NONE

MULTNOMAH COUNTY

PLANNING AND TRANSPORTATION PROGRAM
1800 S.E. 160th AVE. PORTLAND, ORE 97232-5999

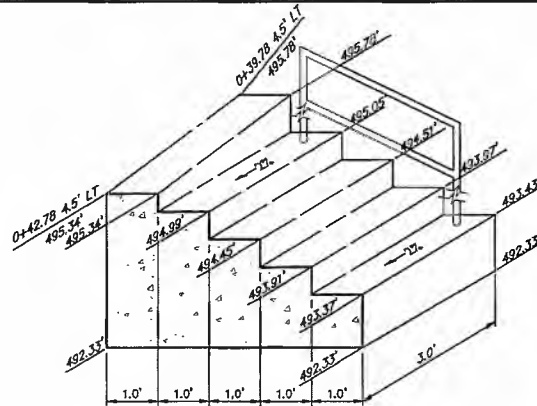
BRIAN S. VINCENT P.E. COUNTY ENGINEER

REVISIONS	DATE	BY	REASON

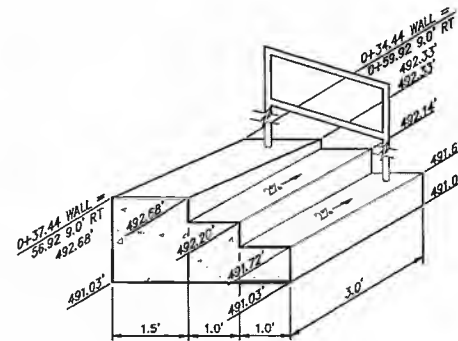
SHEET NO. 4A



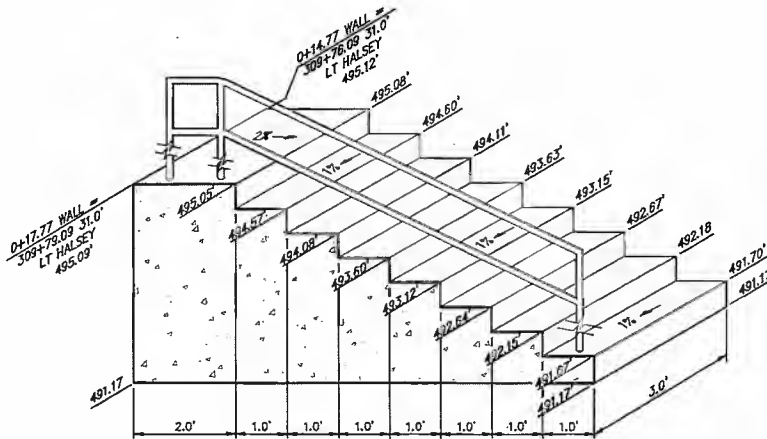
Exhibit B
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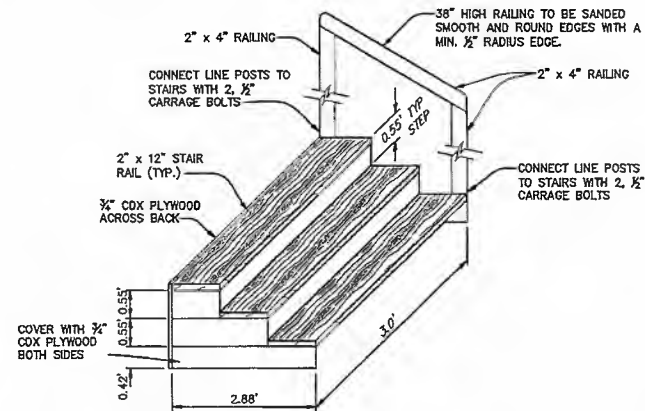
CONCRETE STAIR DETAIL No. 1
STAIR HEIGHT = 0.64' = 6.48" EXCEPT TOP STEP
INSTALL HAND RAILING TO SOUTH SIDE OF STAIRS
SCALE: 1"=1'



CONCRETE STAIR DETAIL No. 2
STAIR HEIGHT = 0.46' = 5.76" EXCEPT TOP STEP
INSTALL HAND RAILING TO NORTH SIDE OF STAIRS
SCALE: 1"=1'



CONCRETE STAIR DETAIL No. 3
STAIR HEIGHT = 0.482' = 5.79"
INSTALL HAND RAILING TO EAST SIDE OF STAIRS
CONNECT TO SIDEWALK HANDRAIL
SCALE: 1"=1'



WOOD STAIR DETAIL
STAIR HEIGHT = 0.55' = 6.60"
INSTALL 2"x4"x38" HEIGHT HAND RAILING TO NORTH SIDE OF STAIRS
STAIN STAIRS TO MATCH EXISTING DECK
USE WOOD SCREWS TO ATTACH ALL WOOD
SCALE: 1"=1'

NOTE:
NO REINFORCING STEEL IS REQUIRED IN CONCRETE STAIRS.

MISCELLANEOUS SITE DETAILS
NE HALSEY STREET
FROM BIRCH AVE TO NE 244th AVE
STREET IMPROVEMENTS
DATE: SEPTEMBER 2012 SCALE: AS SHOWN

MULTNOMAH COUNTY
DEPARTMENT OF COMMUNITY SERVICES
1815 S.E. 100th AVE, PORTLAND, OR 97233-3999
BRIAN S. VINCENT P.E. COUNTY ENGINEER

DESIGNED BY: AJV
DRAWN BY: GSA
CHECKED BY: GSA
REVISIONS

DATE: 09-11-12
SHEET NO. 27



Exhibit B
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